

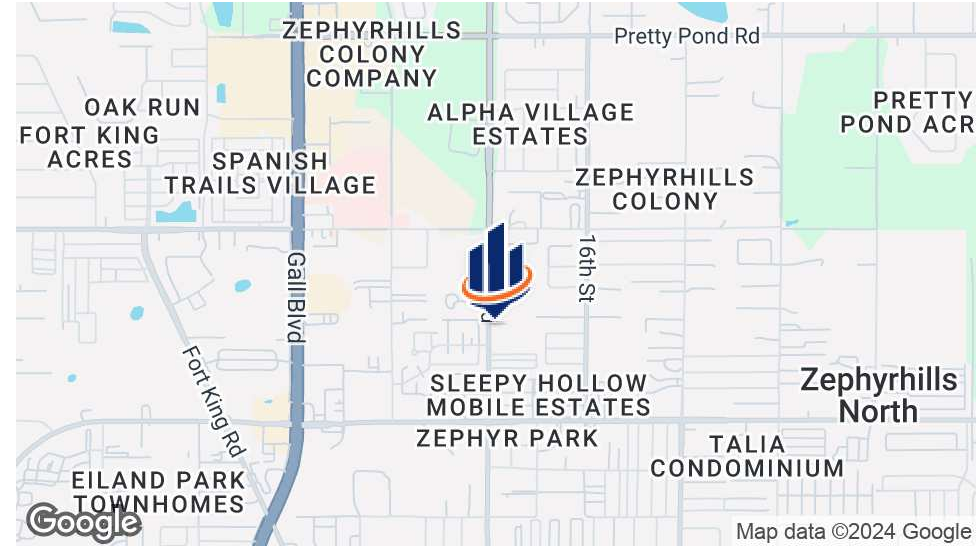


4.92 ACRES APPROVED FOR 56 MF RESIDENTIAL DEVELOPMENT

6712 AND 6718 WIRE ROAD
ZEPHYRHILLS, FL 33542

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Property Summary



OFFERING SUMMARY

| | |
|--------------------|---|
| Sale Price: | \$1,685,000 |
| Lot Size: | 4.92 ± Acres |
| Price / Acre: | \$342,480 |
| Zoning: | FLU: RES-6 RESIDENTIAL |
| Market: | Booming SE Pasco County |
| Submarket: | Zephyrhills |
| APN: | 02-26-21-0010-03600-0000 & 02-26-21-0010-03600-0010 |
| Road Frontage: | 320 ± FT on Wire Rd (650 ± FT deep) |
| Video: | View Here |

PROPERTY OVERVIEW

4.92 Acres FLU: This property is a rectangular shaped land parcel cleared for development. It is RES-6 approved with a remodeled two story home and acreage for Infill Residential Development. Located just 0.5 ± miles from U.S Hwy 301 in a highly desirable area of medical, commercial and residential developments. The subject property is 2,700 ± FT away from the AdventHealth Zephyrhills Hospital, 940 ± FT from Zephyrhills High School, and 1,500 ± FT to Woodland Elementary. Other nearby shops and restaurants include Publix, Winn-Dixie, CVS, Walgreens, McDonalds and many more.

PROPERTY HIGHLIGHTS

- Excellent builder opportunity with most due diligence completed; site development plans for Brooklyn Townhomes are complete and available to prospective buyers.
- 4.92 Acres approved for 56 MF Residential units, with water approved.
- FLU: RES-6
- 1 home remodeled available for occupancy
- Just 2 blocks from US 301 (Gall Blvd.)

Property Description & Location Highlights



LOCATION DESCRIPTION

Located just 2 blocks off U.S Highway 301 (Gall Blvd.), this property is situated off a major north-south commercial corridor in a highly desirable area of medical, commercial and residential developments in Zephyrhills, Florida. This site is just 2,700 ± FT away from the Advent Health Zephyrhills hospital, 940 ± FT to Zephyrhills High School and 1,500 ± FT to Woodland Elementary.

Surrounding shops and restaurants include Publix, Winn-Dixie, CVS, Walgreens, McDonalds and many more.

TAMPA BAY AREA PROVIDES:

- Excellent Universities and Colleges [USF, Tampa U, New College, etc.]
- Top Medical Facilities [Tampa Hospital, USF Medical, Moffitt, etc.]
- Safe and Varied Residential Communities
- #1 Airport in USA, Tampa Int'l Airport & Zephyrhills Airport is expanding their runway
- Excellent Beaches [3 of the Top 10 in the world per Conde Nast]
- Professional Sports [TB Lightning, TB Rays, TB Bucs, etc.]
- World Class Amusement Parks [Busch Gardens, Disney, Universal, etc.]
- A Growing Tech Industry [medical, engineering, defense, etc.]
- Ample shopping, dining, golfing, fishing, boating, and other outdoor sports.

THE CITY OF ZEPHYRHILLS PROVIDES:

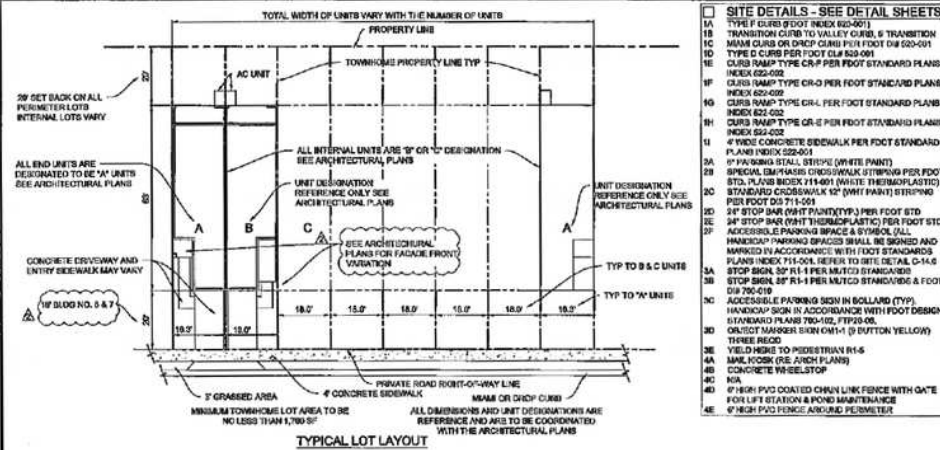
- Zephyrhills Municipal Airport
- AdventHealth and Florida Medical Clinic
- Shopping at numerous venues including Walmart, Publix, Home Depot, etc.
- Entertainment includes nearby Lake Jovita Golf and Country Club and other golf venues
- Other entertainment includes Skydive City, Tennis Clubs, etc., as well as numerous historic and new residential communities.

Specifications & Features



SPECIFICATIONS & FEATURES

| | |
|---------------------------------|---|
| Land Types: | Residential Development |
| Uplands / Wetlands: | 100 % uplands |
| Zoning / FLU: | Approved for 56 units |
| Nearest Point of Interest: | This site is 2 blocks away from US 301 [Gall Blvd] the major commercial corridor in Zephyrhills. Positioned in the center of town, it is near ample shopping, dining, medical facilities, schools, etc. |
| Fencing: | Surrounding the property |
| Current Use: | One 2 story home is remodeled for occupancy, the balance of the 4.92 acre site is cleared, prepared, and approved for multifamily residential development. |
| Structures & Year Built: | There is 2 two story home remodeled recently for occupancy. It is UNOCCUPIED now. |
| Survey or Site Testing Reports: | Yes, much of the due diligence has been completed and available to prospective buyers. |
| Utilities & Water Source: | City of Zephyrhills |
| Planning and / or Permits: | Approved for 56 multifamily residential units and approved for water from the city. |
| Price Per Lot: | \$35,000 |
| Average Lot Size: | .0879 Acres |
| Lot Inventory: | 56 |



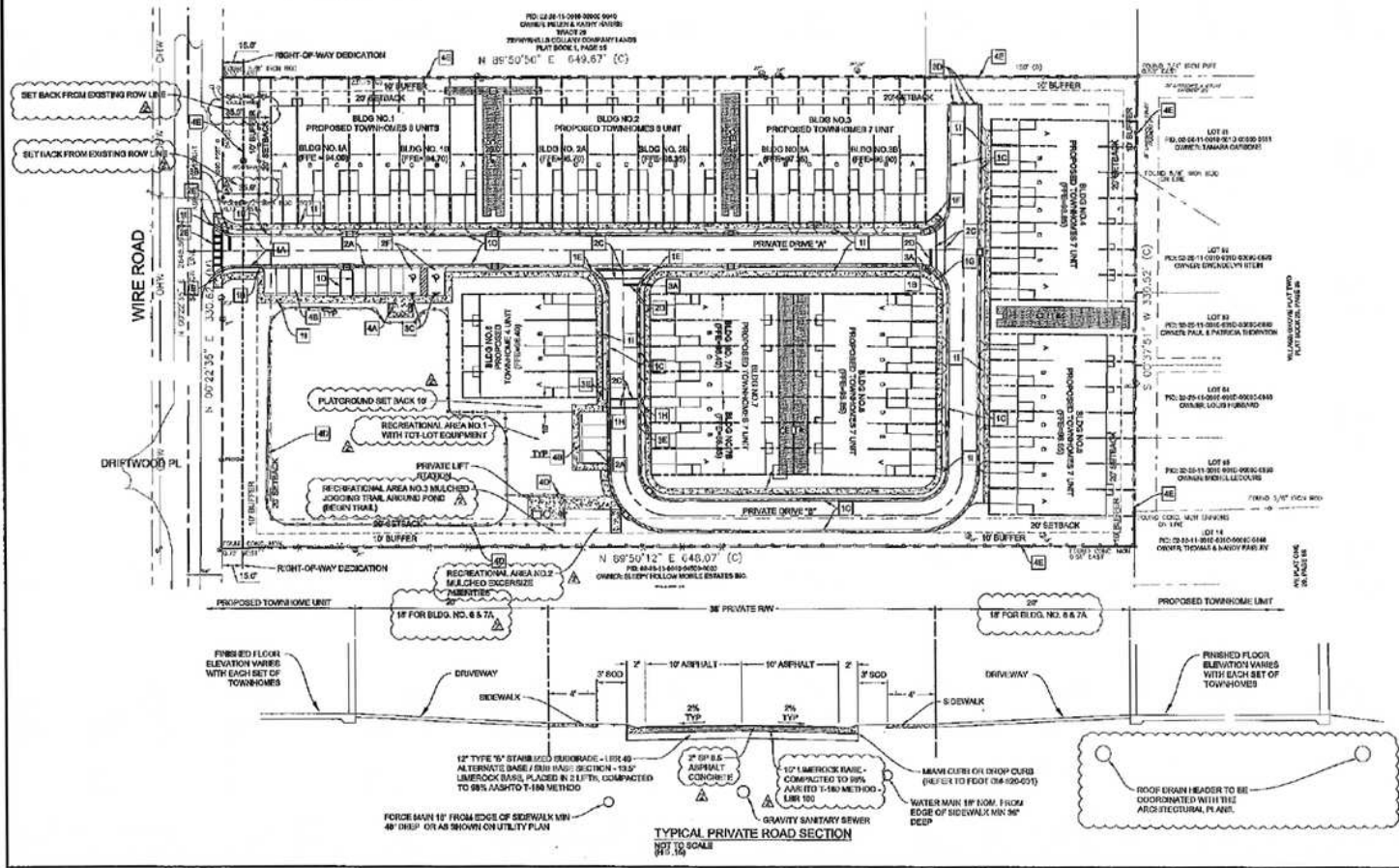
- SITE DETAILS - SEE DETAIL SHEETS**
- 1A TYPE 'C' CURB FOOT INDEX 60-601
 - 1B TRANSITION CURB TO VALLEY CURB, 6" TRANSITION
 - 1C MAM CURB ON DROP CURB PER FOOT D-146
 - 1D TYPE 'C' CURB PER FOOT C-146
 - 1E CURB RAMP TYPE CR-8 PER FOOT STANDARD PLANS INDEX 62-002
 - 1F CURB RAMP TYPE CR-0 PER FOOT STANDARD PLANS INDEX 62-002
 - 1G CURB RAMP TYPE CR-4 PER FOOT STANDARD PLANS INDEX 62-002
 - 1H CURB RAMP TYPE CR-2 PER FOOT STANDARD PLANS INDEX 62-002
 - 1I 4" INDI CONCRETE SIDEWALK PER FOOT STANDARD PLANS INDEX 62-004
 - 1J 6" PAVING STALL, STROKE (WHITE PAINT)
 - 1K STOP SIGN (WHITE THERMOPLASTIC) PER FOOT STD. PLANS INDEX 11-401 (WHITE THERMOPLASTIC)
 - 1L STANDARD CROSSWALK 12" (WHITE PAINT) PER FOOT STD. 711-001
 - 1M 24" STOP BAR (WHITE THERMOPLASTIC) PER FOOT STD. 711-001
 - 1N STOP SIGN (WHITE THERMOPLASTIC) PER FOOT STD. 711-001
 - 1O ACCESSIBLE PARKING SPACE & SYMBOL ALL HANDICAP PARKING SPACES SHALL BE SPACED AND MARKED IN ACCORDANCE WITH FOOT STANDARDS PLANS INDEX 711-001. REFER TO SITE DETAIL D-146
 - 1P STOP SIGN 18" X 18" PER MUTCO STANDARDS & FOOT 700-010
 - 1Q ACCESSIBLE PARKING SIGN IN BOLLARD (TYP.) HANDICAP SIGN IN ACCORDANCE WITH FOOT DESIGN STANDARD PLANS 700-010, 711-001
 - 1R OBJECT MARKER SIGN (M-1) (BUTTON YELLOW) THREE RED
 - 1S YIELD SIGN TO POSTERIOR IN-6
 - 1T MAM CURB (SEE ARCH PLANS)
 - 1U CONCRETE WARESTOP
 - 1V 18" PVC COATED CHAIN LINK FENCE WITH GATE FOR LIFT STATION (ONE MAINTENANCE)
 - 1W 18" PVC FENCE AROUND PERMITTER

- GENERAL SITE NOTES**
1. ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 2. ALL DIMENSIONS SHOWN CALLED OUT OR SPECIFIED HEREIN ALL CLOSING ADJACENT TO CONCRETE PAVING SHALL BE 6" INTERVAL. CHANGING CURB AND GUTTER NEXT TO ASPHALT SHALL BE TYPE MAM OR DROP CURB AND GUTTER.
 3. THE LOCATION OF EXISTING UTILITIES AND UTILITIES IS A PART OF THIS CONSTRUCTION PACKAGE. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS AND STEPS TO INSURE THAT ALL ADJACENT UTILITIES ARE PROTECTED FROM DAMAGE AND TO INSURE THAT ALL NECESSARY PROPERTIES RETAIN ALL UTILITY SERVICES DURING THE DURATION OF THE CONSTRUCTION.
 4. IF DEMOLITION OR CONSTRUCTION ON SITE WILL INTERFERE WITH THE ADJACENT PROPERTY OWNERS TRAFFIC FLOW, THE CONTRACTOR SHALL COORDINATE WITH THE ADJACENT PROPERTY OWNER, TO MINIMIZE THE IMPACT ON TRAFFIC FLOW. ADJACENT PROPERTIES ARE PROTECTED FROM DAMAGE AND TO INSURE THAT ALL NECESSARY PROPERTIES RETAIN ALL UTILITY SERVICES DURING THE DURATION OF THE CONSTRUCTION.
 5. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVED TRAFFIC IMPROVEMENTS, BARRELS, AND/OR CONES. TEMPORARY SIGNAGE AND FLAGGING MAY BE ALSO NECESSARY TO PROTECT ALL EXISTING UTILITIES NOTED TO BE PROTECTED.
 6. ALL UTILITIES AND AREAS DISTURBED BY THE CONTRACTOR SHALL BE RESTORED TO ORIGINAL AND FULLY AVAILABLE ON SITE. THE CONTRACTOR SHALL PROVIDE TYPICAL APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE RESTORED TO ORIGINAL CONDITION. FERTILIZER, MULCH, WATER, AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED. IF ANY AREAS ARE DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE RESTORED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
 7. THE PROPOSED ON SITE STORMWATER POND WALL SHALL SERVE THE ENTIRE DEVELOPMENT PROPERTY.



| Issued: | Date: |
|----------------------|----------|
| A ISSUED FOR PERMITS | 05-09-23 |
| B | |
| C | |
| D | |

| Revisions: | Date: |
|-------------------------------|----------|
| 1 CITY UTILITY COMMENTS | 06-22-23 |
| 2 CITY REV PER COM (65-19-23) | 07-17-23 |
| 3 | |
| 4 | |
| 5 | |
| 6 | |



- PROJECT DATA:**
 TOTAL PROJECT AREA: 4.4 ACRES (190,800 SQ. FT.)
 BUILDING FOOTPRINT: 18 UNITS (24,528 SQ. FT.)
 8 UNITS 1,530 SQ. FT. EACH
 10 UNITS (24,528 SQ. FT.)
 23 UNITS (20,200 SQ. FT.)
 TOTAL UNITS: 65 UNITS (24,720 SQ. FT.)
- MAX. DENSITY ALLOWED: 20 D.U./AC = 90 UNITS PROPOSED PROVIDED BY PUD = 65 UNITS**
- JURISDICTION: CITY OF ZEPHYRUS, FL**
- EXISTING USE: VACANT LAND AND EXISTING STRUCTURES**
- ZONING: R-1 HIGH DENSITY RESIDENTIAL**
 TOTAL OF 65 UNITS PROVIDED FOR BY PUD DEED RESTRICTION
- ABUTTING:**
 NORTH: AC
 EAST: R-1 PLANNED UNIT DEVELOPMENT
 WEST: M-1 MOBILE HOME SUBDIVISION
 SOUTH: R-1 RESIDENTIAL
- PROPOSED USE: TOWNHOME/RESIDENTIAL**
- BUILDING HEIGHT:**
 ALLOWED: 35 FT.
 PROPOSED: 33.8 FT.
 PROPOSED F.A.R. = 86,120(1.1315-0.68)
- SETBACKS:**
 REQUIRED:
 F- 27' FROM EXISTING ROW
 S- 20' FROM PROPERTY BOUNDARY
 F- 17' (MINIMUM) TO 20' (MAXIMUM)
 R- 20' (MINIMUM)
- PROVIDED:**
 F- 27'
 S- 20'
 F- 17'
 R- 20'
- REQUIRED UNDEVELOPED OPEN SPACE: 50% PROPOSED LANDSCAPE OPEN SPACE: 20%**
- REQUIRED UNDEVELOPED BUFFER: (ROW OR PROPERTY BOUNDARY) PROVIDER:**
 F- 10'
 S- 10'
 R- 10'
- PARKING REQUIREMENTS FOR PROPOSED USE:**
 REQUIRED:
 2 SPACES PER UNIT = 65 UNITS X 2 = 130
 1 VISITOR SPACE PER 6 TOWNHOMES = 65 UNITS ÷ 6 = 11
- PARKING SPACES PROVIDED:**
 UNIT PARKING = 130 ONE CARSPACE PARKING SPACE, ONE DRIVEWAY
 VISITOR PARKING = 12 SPACES
 RECREATION AREA PARKING = 4 SPACES
 TOTAL VISITOR/RECREATION SPACE = 16 SPACES (2 HIC INCLUDED)



NOTE: SIDEWALK AND DRIVEWAY LOCATIONS IN FRONT OF PROPOSED TOWNHOME UNITS TO CHANGE DEPENDING ON PROPOSED FLOORPLAN AND DRIVEWAY LAYOUT.

NOTE: ALL REFERENCE INFERRED TO BE CURB FACE PER PUD.

Scott K. Stannard, P.E.
 FL P.E. No. 50505 SEAL

This Plan has been digitally signed and sealed by Scott K. Stannard, P.E., on the date indicated to the right. Printed copies of this document are not considered signed and sealed and the signature must be visible on any electronic copies.

CSS
 Site Engineering - Landscape Architects
 Commercial Site Solutions, Inc.
 FL C.O.A. Number: 27575
 21764 State Road 54
 Lutz, FL 33549
 (813) 695-0022
 www.css-eng.com

KTR INVESTMENT GROUP, LLC.

6814 OAKCREST WAY
 23117 HILL LANE, L.L. 22542
 P.O. BOX 1133
 PASCAGO COUNTY
 CONTACT: KEVIN RYMAN

Project Name & Location:

BROOKE-LYN TOWNHOMES

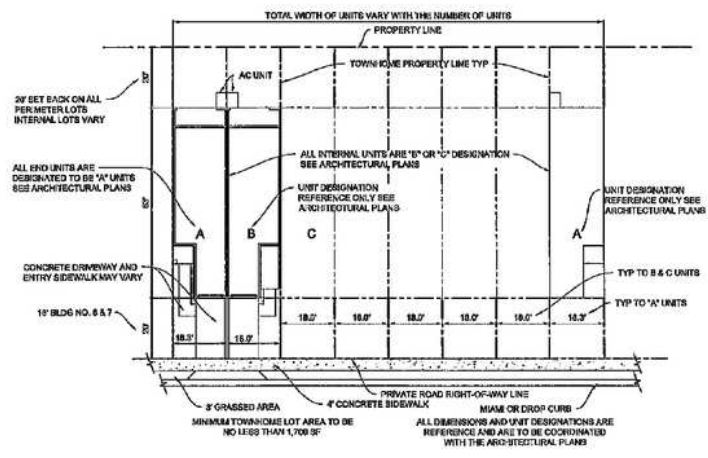
WIRE ROAD @ DRIFTWOOD RD
 CITY OF ZEPHYRUS, FL
 PASCAGO COUNTY
 CONTACT: KEVIN RYMAN

SITE PLAN

Drawing Name:
 Date: 07/13/21
 Drawing No.:
 Revised: XXX
 Drawn: sjs
 Checked: SKS

C-4.0

The complete set of drawings is available upon request, and this project is "shovel ready".



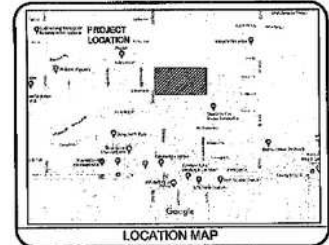
LEGAL DESCRIPTION :

TRACT 36, ZEPHYRUS COLONY COMPANY LANDS, AS PER PLAT THEREOF RECORDED IN PLAT BOOK 1, PAGE 55, PUBLIC RECORDS OF PASCO COUNTY, FLORIDA.

CONTAINING 4.023 ACRES MORE OR LESS

SURVEYOR'S NOTES:

1. BEARINGS SHOWN HEREON ARE BASED ON THE WEST LIE OF SECTION 2, TOWNSHIP 26 SOUTH, RANGE 21 EAST HAVING A RECORD BEARING OF
2. UNDERGROUND IMPROVEMENTS, UTILITIES AND ENCROACHMENTS, IF ANY, HAVE NOT BEEN LOCATED.
3. REPRODUCTIONS OF THIS SURVEY ARE NOT VALID UNLESS EMBOSSED WITH THE UNDERSIGNED SURVEYOR'S SEAL.
4. FIELD WORK COMPLETED SEPTEMBER 20, 2021.
5. LEGAL DESCRIPTION SHOWN HEREON PER TITLE INSURANCE POLICY.
6. BASED ON AN INSPECTION OF FEMA FLOOD INSURANCE RATE MAP (F.I.R.M.), COMMUNITY PANEL NO. 1210102037, DATED 09-20-14, THE PROPERTY SHOWN HEREON APPEARS TO LIE IN FLOOD ZONE X.
7. THIS SURVEY HAS BEEN PREPARED IN CONJUNCTION WITH TITLE INSURANCE POLICY ISSUED BY ATTORNEY'S TITLE INSURANCE FUND INC., POLICY NO. 094-710303, DATED JUNE 24, 2005 AT 5:00 PM. SEE EXCEPTIONS LIST SHOWN HEREON FOR SCHEDULE B ITEMS AS CONTAINED THEREIN.
8. NO ZONING REPORT PROVIDED
9. SUBJECT PROPERTY HAS DIRECT ACCESS TO WIRE ROAD, A PUBLIC RIGHT OF WAY.
10. ELEVATIONS SHOWN HEREON REPRESENT NAVD83. SEE SURVEY DRAWING FOR BENCHMARK IDENTIFICATION.



PROJECT DATA

TOTAL PROPOSED AREA = 4.023 ACRES (174,000 SQ. FT.)
 A UNITS 1,632 SF EACH 16 UNITS (24,512 SF)
 B UNITS 1,816 SF EACH 16 UNITS (29,056 SF)
 C UNITS 1,624 SF EACH 23 UNITS (26,752 SF)
 TOTAL UNITS 55 65,320 SF

MAX DENSITY ALLOWABLE: 20 DU/AC = 89 UNITS
 PROPOSED DENSITY: 13.4 UNITS/AC

JURISDICTION: CITY OF ZEPHYRUS
 EXISTING USE: VACANT LAND/NO EXISTING STRUCTURES
 ZONING: R-4 HIGH DENSITY RESIDENTIAL
 TOTAL OF 55 UNITS PROVIDED FOR BY PUD DEED RESTRICTION

ADJUTING:
 NORTH: AS
 EAST: PUD - PLANNED UNIT DEVELOPMENT
 WEST: N-1 - HOMELESS HOME SUBDIVISION
 SOUTH: R-4 - RECREATIONAL VEHICLE PARK

PROPOSED UNIT: TOWNHOME / RESIDENTIAL
 BUILDING HEIGHT:
 ALLOWED: 30 FT.
 PROVIDED: 28.5 FT.
 PROVIDED F.A.R. = 66,120/4,131(0.0)

SETBACKS:

| | |
|---|-----------------|
| REAR (FROM EXISTING ROW) | PROVIDED: 5'-0" |
| 3'-20' FROM PROPERTY BOUNDARY | 5'-0" |
| 5'-10' INTERNAL (L.O.C. 2.07.53.00.00)(C) | 5'-0" & 5'-0" |
| 5'-20' INTERNAL | 5'-0" |
| 5'-20' (INT. TO P.A.) | 5'-0" |

REQUIRED LANDSCAPED OPEN SPACE: 30%
 PROPOSED LANDSCAPED OPEN SPACE: 30%

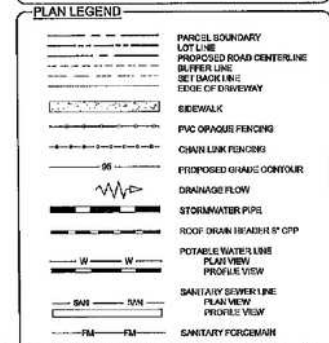
REQUIRED UNPROVIDED BUFFERS (ROW OR PROPERTY BOUNDARY) REQUIRED:

| | |
|------|------|
| R-10 | R-10 |
| S-10 | S-10 |
| R-10 | R-10 |

PARKING REQUIREMENTS FOR PROPOSED UNIT:

REQUIRED:
 1 SPACES PER UNIT = 55 UNITS X 2 = 110
 1 VISITOR SPACE PER 5 TOWNHOMES = 55 UNITS X 1 = 55

PARKING SPACES PROVIDED:
 UNIT PROVIDED = 110 (ONE CHARGED PARKING SPACE, ONE DRIVEWAY)
 VISITOR PARKING = 52 (2 SPACES)
 RECREATION AREA PARKING = 4 (2 SPACES)
 TOTAL VISITOR/RECREATION SPACES = 10 SPACES (2 NOT INCLUDED)



SURVEY LEGEND:

| | | | | | | | |
|-----|--------------------|-----|------------------------|--------|----------------|----|--------------|
| AVY | AIR RELEASE VALVE | HRG | 1/2" A MATES OF SURVEY | SMALL | POUR PIPE (PP) | CM | CABLE MARKER |
| BYP | BACKFLOW PREVENTER | IRG | IRREGULAR | SPRINK | PIPE (PVC) | CP | CONCRETE (C) |
| CB | CORNER BULLET | OD | ORIGINAL RECORDS | ST | STEEL (S) | CS | CONCRETE (S) |
| CC | CAPERS SIGN (V) | OS | OFFICIAL RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CD | CONCRETE DRIVE | PS | PROPOSED | STK | STEEL (S) | CS | CONCRETE (S) |
| CE | CONCRETE CURB | PT | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CF | CONCRETE FLOOR | PC | PARTIAL RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CG | CONCRETE GROUND | PE | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CH | CONCRETE HOLE | PF | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CI | CONCRETE INTERIOR | PG | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CJ | CONCRETE JUNCTION | PH | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CK | CONCRETE KICK | PI | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CL | CONCRETE L | PL | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CM | CONCRETE M | PM | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CN | CONCRETE N | PN | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CO | CONCRETE O | PO | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CP | CONCRETE P | PP | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CQ | CONCRETE Q | PR | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CR | CONCRETE R | PS | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CS | CONCRETE S | PT | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CT | CONCRETE T | PU | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CU | CONCRETE U | PV | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CV | CONCRETE V | PW | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CW | CONCRETE W | PX | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CX | CONCRETE X | PY | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CY | CONCRETE Y | PZ | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CA | CONCRETE A | QA | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CB | CONCRETE B | QB | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CC | CONCRETE C | QC | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CD | CONCRETE D | QD | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CE | CONCRETE E | QE | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CF | CONCRETE F | QF | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CG | CONCRETE G | QG | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CH | CONCRETE H | QH | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CI | CONCRETE I | QI | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CJ | CONCRETE J | QJ | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CK | CONCRETE K | QK | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CL | CONCRETE L | QL | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CM | CONCRETE M | QM | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CN | CONCRETE N | QN | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CO | CONCRETE O | QO | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CP | CONCRETE P | QP | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CQ | CONCRETE Q | QQ | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CR | CONCRETE R | QR | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CS | CONCRETE S | QS | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CT | CONCRETE T | QT | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CU | CONCRETE U | QU | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CV | CONCRETE V | QV | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CW | CONCRETE W | QW | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CX | CONCRETE X | QX | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CY | CONCRETE Y | QY | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CA | CONCRETE A | QA | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CB | CONCRETE B | QB | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CC | CONCRETE C | QC | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CD | CONCRETE D | QD | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CE | CONCRETE E | QE | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CF | CONCRETE F | QF | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CG | CONCRETE G | QG | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CH | CONCRETE H | QH | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CI | CONCRETE I | QI | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CJ | CONCRETE J | QJ | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CK | CONCRETE K | QK | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CL | CONCRETE L | QL | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CM | CONCRETE M | QM | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CN | CONCRETE N | QN | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CO | CONCRETE O | QO | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CP | CONCRETE P | QP | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CQ | CONCRETE Q | QQ | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CR | CONCRETE R | QR | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CS | CONCRETE S | QS | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CT | CONCRETE T | QT | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CU | CONCRETE U | QU | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CV | CONCRETE V | QV | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CW | CONCRETE W | QW | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CX | CONCRETE X | QX | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CY | CONCRETE Y | QY | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CA | CONCRETE A | QA | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CB | CONCRETE B | QB | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CC | CONCRETE C | QC | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CD | CONCRETE D | QD | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CE | CONCRETE E | QE | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CF | CONCRETE F | QF | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CG | CONCRETE G | QG | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CH | CONCRETE H | QH | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CI | CONCRETE I | QI | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CJ | CONCRETE J | QJ | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CK | CONCRETE K | QK | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CL | CONCRETE L | QL | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CM | CONCRETE M | QM | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CN | CONCRETE N | QN | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CO | CONCRETE O | QO | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CP | CONCRETE P | QP | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CQ | CONCRETE Q | QQ | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CR | CONCRETE R | QR | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CS | CONCRETE S | QS | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CT | CONCRETE T | QT | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CU | CONCRETE U | QU | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CV | CONCRETE V | QV | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CW | CONCRETE W | QW | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CX | CONCRETE X | QX | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CY | CONCRETE Y | QY | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CA | CONCRETE A | QA | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CB | CONCRETE B | QB | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CC | CONCRETE C | QC | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CD | CONCRETE D | QD | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CE | CONCRETE E | QE | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CF | CONCRETE F | QF | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CG | CONCRETE G | QG | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CH | CONCRETE H | QH | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CI | CONCRETE I | QI | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CJ | CONCRETE J | QJ | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CK | CONCRETE K | QK | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CL | CONCRETE L | QL | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CM | CONCRETE M | QM | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CN | CONCRETE N | QN | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CO | CONCRETE O | QO | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CP | CONCRETE P | QP | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CQ | CONCRETE Q | QQ | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CR | CONCRETE R | QR | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CS | CONCRETE S | QS | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CT | CONCRETE T | QT | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CU | CONCRETE U | QU | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CV | CONCRETE V | QV | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CW | CONCRETE W | QW | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CX | CONCRETE X | QX | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CY | CONCRETE Y | QY | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CA | CONCRETE A | QA | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CB | CONCRETE B | QB | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CC | CONCRETE C | QC | PLAT RECORDS | STK | STEEL (S) | CS | CONCRETE (S) |
| CD | CONCRETE D | QD | PLAT RECORDS | | | | |

Aerial Map



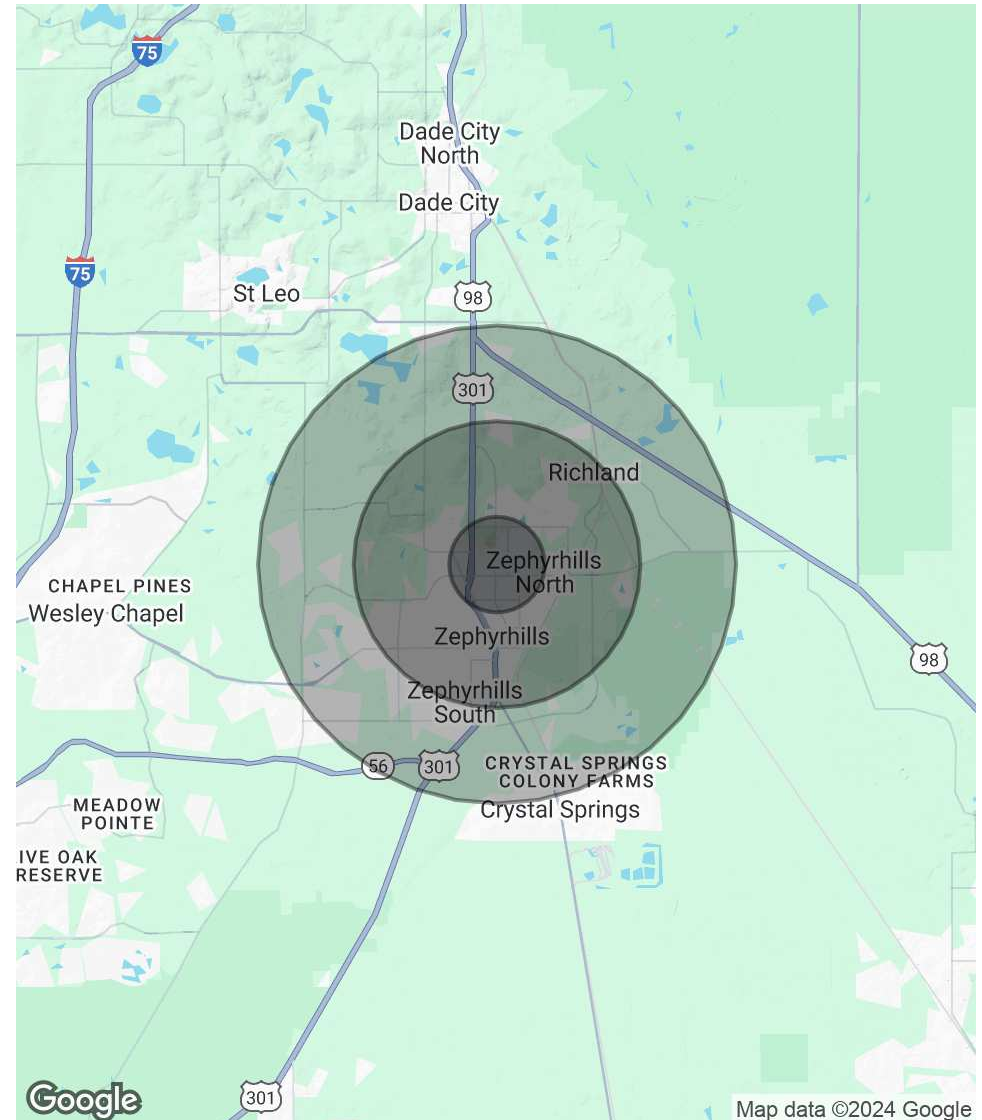
Regional & Location Map



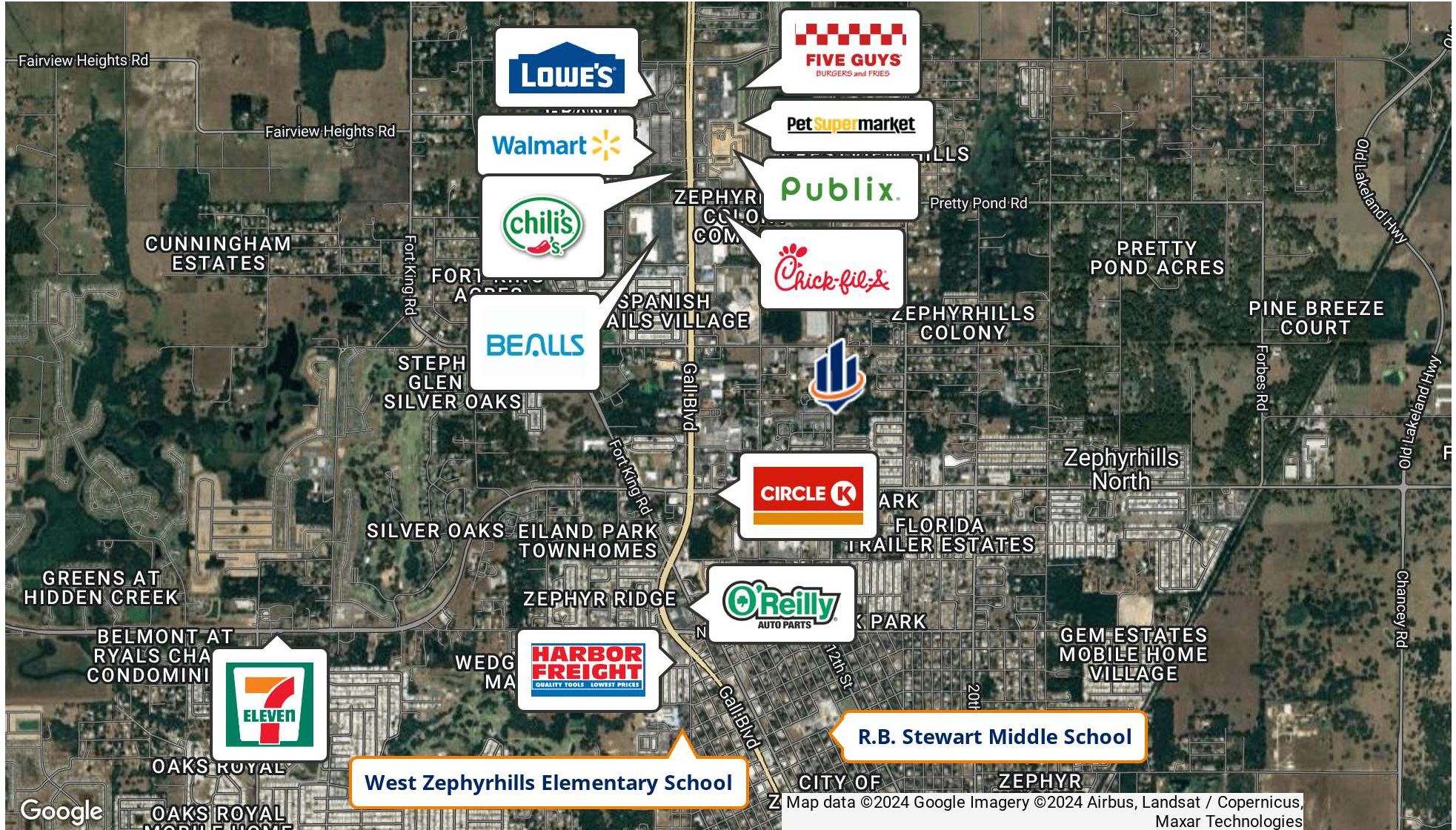
Demographics Map & Report

| | 1 MILE | 3 MILES | 5 MILES |
|--------------------------------|-----------|-----------|-----------|
| POPULATION | | | |
| Total Population | 7,184 | 37,163 | 55,678 |
| Average Age | 52.0 | 52.1 | 53.0 |
| Average Age (Male) | 48.9 | 49.9 | 51.1 |
| Average Age (Female) | 53.3 | 53.3 | 54.1 |
| HOUSEHOLDS & INCOME | | | |
| Total Households | 3,185 | 16,566 | 24,533 |
| # of Persons per HH | 2.3 | 2.2 | 2.3 |
| Average HH Income | \$43,543 | \$44,362 | \$45,551 |
| Average House Value | \$108,192 | \$106,557 | \$112,220 |

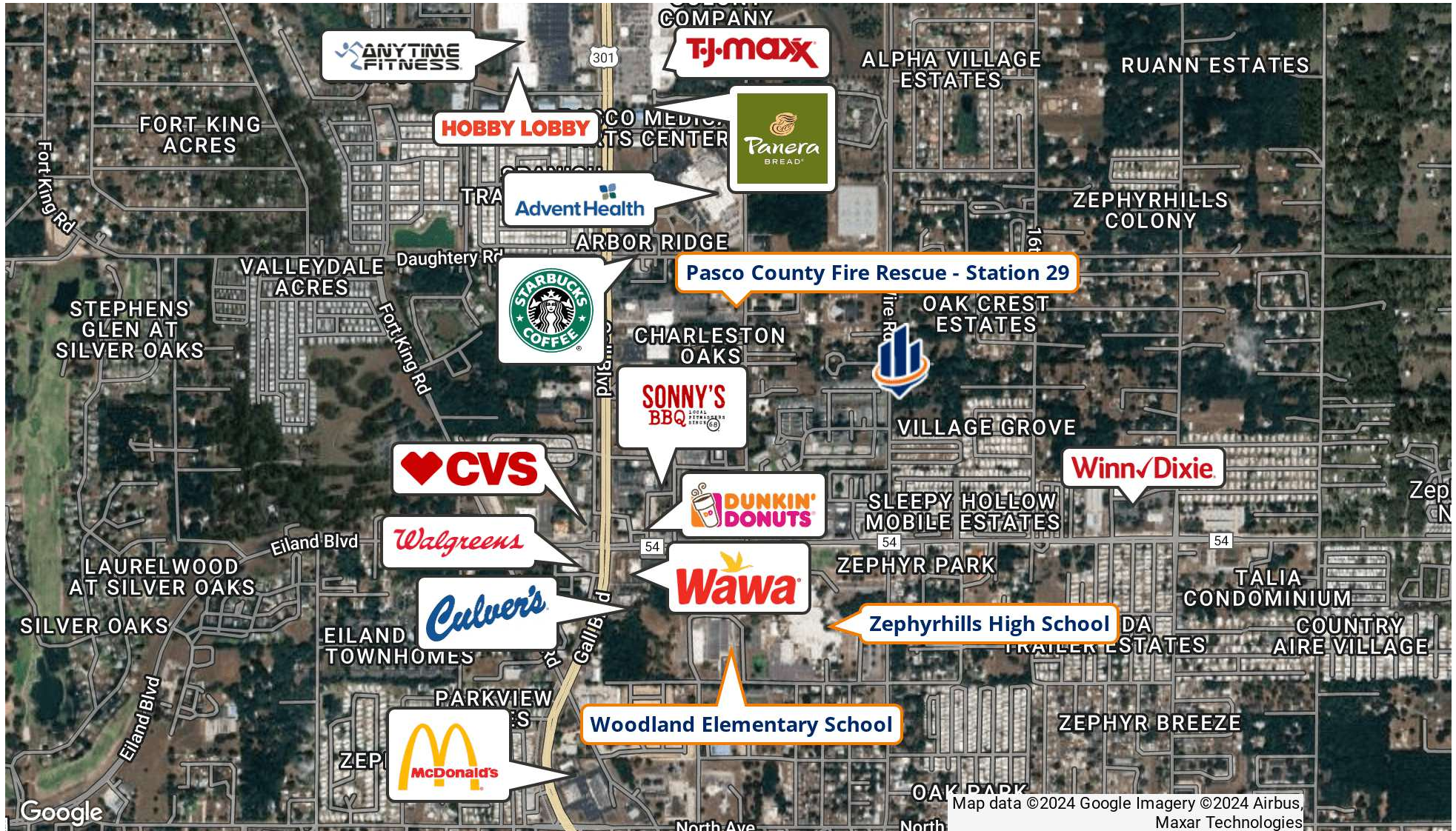
2020 American Community Survey (ACS)



Market Area Map



Neighborhood Map



Unoccupied 2 Story Home On The Property



Additional Photos





STEVE TONER, MBA

Senior Advisor

steve.toner@svn.com

Direct: 877.518.5263 x362 | Cell: 813.391.0302

FL #BK510864

PROFESSIONAL BACKGROUND

Steve Toner, MBA is a Senior Advisor at SVN | Saunders Ralston Dantzler Real Estate in Lakeland, Florida.

Steve [Broker License BK 510864] has been recognized as a Certified Land Specialist by SVN International, with a specialty in Florida land for development. He holds the 2021 SVN Presidents Circle Award [18 sales, \$14,000,000], and the SVN 2020 Achiever Award. In the Fall of 2021, he was rated 5th in the USA at SVN. Steve has extensive experience with land development [residential, commercial, and industrial], working with builders, developers, and corporate site selection managers in the growing southwest coast counties of Florida and around the Tampa Bay region.

Steve has been an active member in CCIM and FGCAR, ICSC, and the Land Council of SVN. He has contributed to his community and profession in the following roles:

- Marketing Chair for the Realtor Land Institute
- Founding Chair and President of the Canadian American Business Council [trade/investment]
- Mayor and Councilman of Crestview, KY
- Regional Planning Council of Northern Kentucky
- President of his University Alumni Association

Steve is also a candidate for the CCIM and ALC. He earned a Master of Business Administration [MBA] at Northern Kentucky University [NKU] and a Master of Public Affairs [MPA] at the University of Cincinnati. His undergraduate work was completed at the University of Kentucky and NKU. He also holds the Certificate of International Trade from USF / US SBA.

Prior to working with SVN Saunders, Steve owned the commercial brokerage firm, Coastal Strategies and Investments [CSI], where he practiced commercial real estate and conducted 21 international trade and investment missions to and from Europe, Latin America and Canada. Before CSI, he served as an International Vice President for a national commercial real estate firm, was the Director of Business Development for Belcan Corp, an engineering firm in Cincinnati, and was Director of Development and Alumni at his state university, NKU.

Steve specializes in LAND for:

- Residential Development
- Commercial Development
- Industrial Development
- Investment and International Commerce

About SVN



The SVN® brand was founded in 1987 out of a desire to improve the commercial real estate industry for all stakeholders through cooperation and organized competition.

Today, SVN® International Corp., a full-service commercial real estate franchisor of the SVN® brand, is comprised of over 1,600 Advisors and staff in over 200 offices across the globe. Geographic coverage and amplified outreach to traditional, cross-market and emerging buyers and tenants is the only way to achieve maximum value for our clients.

Our proactive promotion of properties and fee sharing with the entire commercial real estate industry is our way of putting clients' needs first. This is our unique Shared Value NetworkSM and just one of the many ways that SVN Advisors create amazing value with our clients, colleagues and communities.

Our robust global platform, combined with the entrepreneurial drive of our business owners and their dedicated SVN Advisors, assures representation that creates maximum value for our clients.

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Neither the SVN Advisor nor the Owner make any representation or warranty, express or implied, as to the accuracy or completeness of the information contained herein, and nothing contained herein is or shall be relied upon as a promise or representation as to the future representation of the Property. This Offering Memorandum may include certain statements and estimates with respect to the Property. These Assumptions may or may not be proven to be correct, and there can be no assurance that such estimates will be achieved. Further, the SVN Advisor and the Owner disclaim any and all liability for representations or warranties, expressed or implied, contained in or omitted from this Offering Memorandum, or any other written or oral communication transmitted or made available to the recipient. The recipient shall be entitled to rely solely on those representations and warranties that may be made to it in any final, fully executed and delivered Real Estate Purchase Agreement between it and Owner.

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This Offering Memorandum is a solicitation of interest only and is not an offer to sell the Property. The Owner expressly reserves the right, at its sole discretion, to reject any or all expressions of interest to purchase the Property and expressly reserves the right, at its sole discretion, to terminate negotiations with any entity, for any reason, at any time with or without notice. The Owner shall have no legal commitment or obligation to any entity reviewing the Offering Memorandum or making an offer to purchase the Property unless and until the Owner executes and delivers a signed Real Estate Purchase Agreement on terms acceptable to Owner, in Owner's sole discretion. By submitting an offer, a prospective purchaser will be deemed to have acknowledged the foregoing and agreed to release the Owner and the SVN Advisor from any liability with respect thereto.

To the extent Owner or any agent of Owner corresponds with any prospective purchaser, any prospective purchaser should not rely on any such correspondence or statements as binding Owner. Only a fully executed Real Estate Purchase Agreement shall bind the property and each prospective purchaser proceeds at its own risk.



For more information visit www.SVNsaunders.com

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